



MERCHANT SQUARE EAST, LONDON, W2

£1,595 per week*

Carter Jonas

APARTMENT 1408, MERCHANT SQUARE EAST, LONDON, W2 1AP

- 3 Bedrooms
- 2 Bathrooms
- 1 Reception room
- Pets Allowed
- Concierge
- Underground Parking
- 13th floor with lift

THE PROPERTY

The expansive and well-lit apartment features a lovely reception room adjoined to a contemporary open-plan kitchen, three sizable bedrooms, and two bathrooms. With its breathtaking views from the south-facing balcony, this apartment stands out. Located in the vibrant Paddington Basin, it has a striking and spacious (912sq ft) interior design.

Positioned on the 14th floor of a prestigious building, residents benefit from concierge service, lift access, and secure underground parking.

The apartment offers easy access to superb transport links such as Paddington Train Station (Bakerloo, Hammersmith & City, Circle, District lines and Heathrow express) and Edgware Road (Circle, District and Bakerloo lines)

Holding deposit is 1 week's rent.

Security deposit is 6 week's rent.

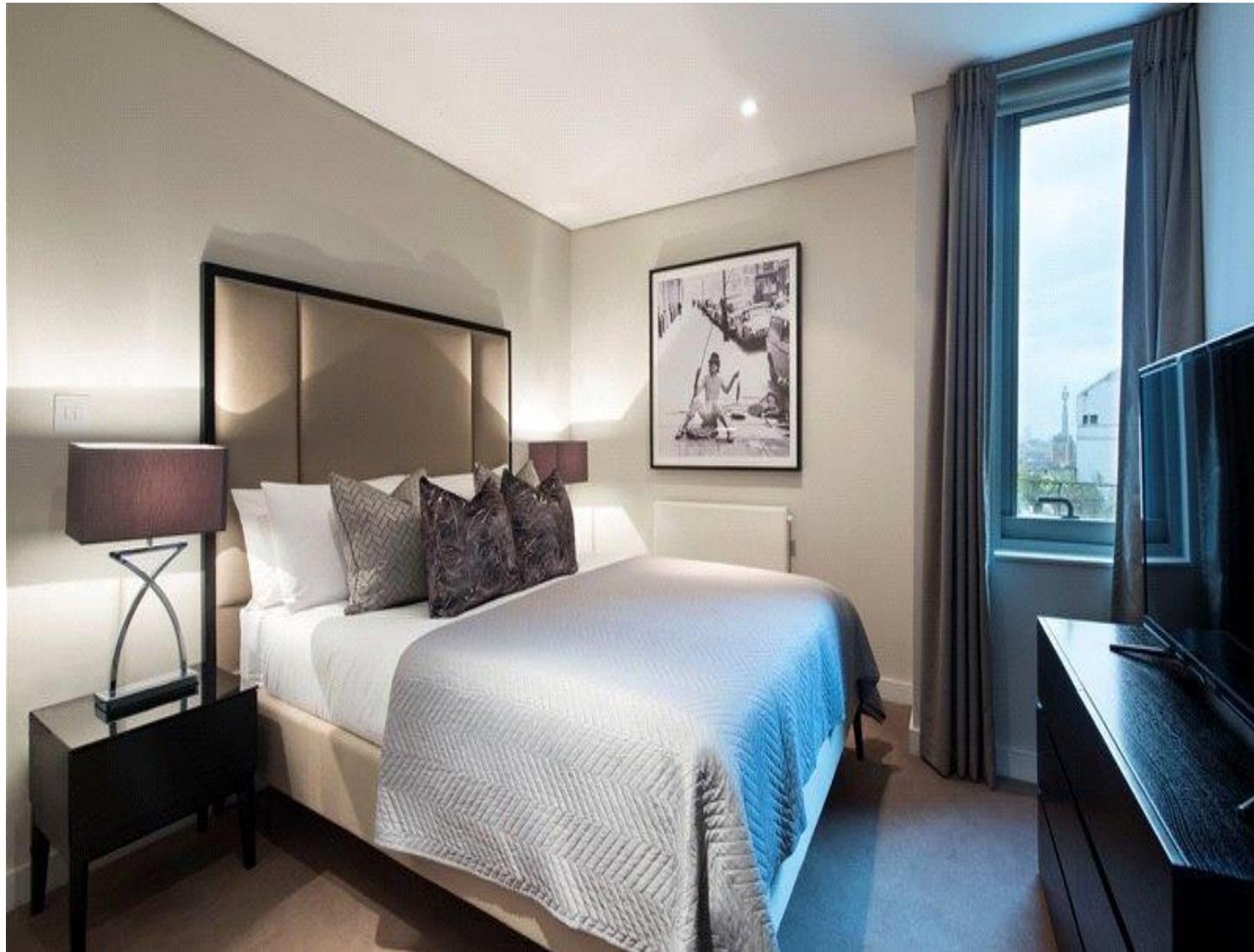
Minimum term 12 months

Council Tax Band G

EPC rating: B

For the latest information on broadband and mobile coverage, please visit <https://checker.ofcom.org.uk/en-gb/broadband-coverage>.

Commanding fantastic views over the Paddington Basin, a modern lateral three- bedroom apartment with private balcony.



ADDITIONAL INFORMATION

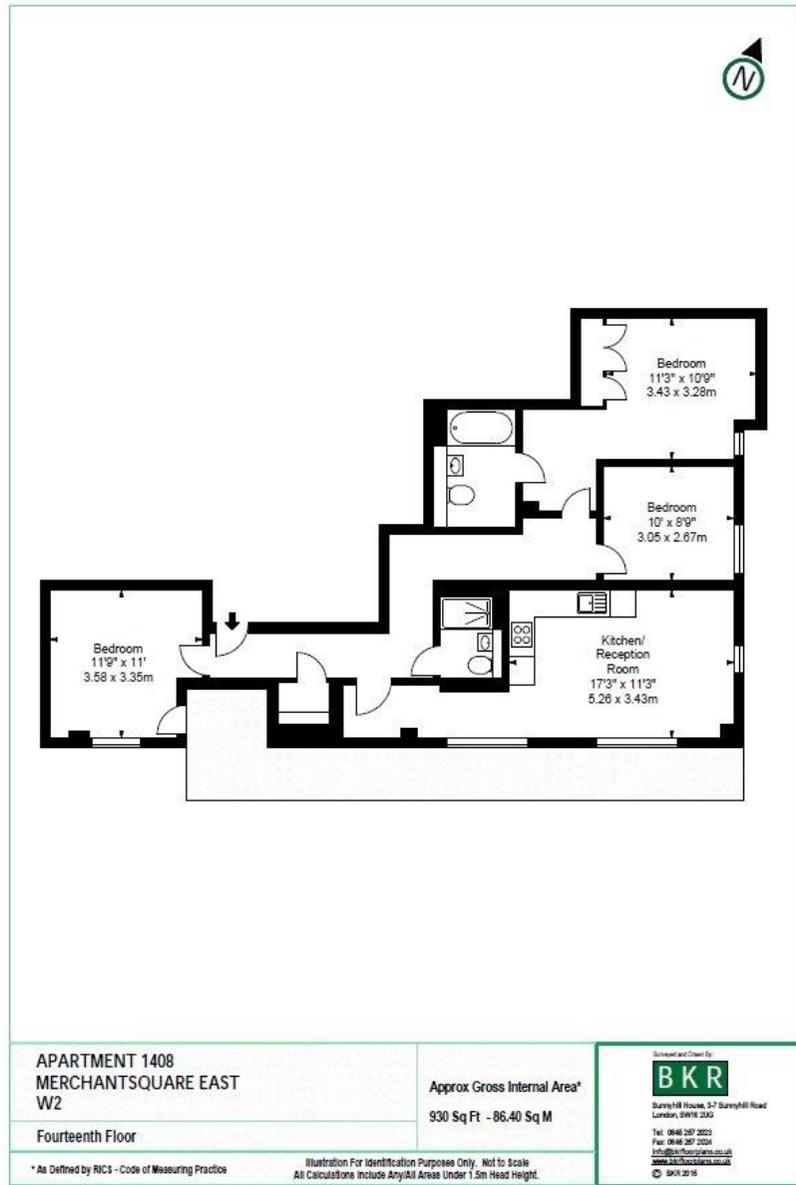
Offers Available for a minimum term of 12 months longer terms will be considered

Viewing Strictly by appointment

Local Authority Westminster City Council - Council Tax Band G

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92+)	A		
(81-91)	B	85	85
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England, Scotland & Wales		EU Directive 2002/91/EC	





IMPORTANT INFORMATION

These particulars are for general information purposes only and do not represent an offer or contract or part of one. Carter Jonas or anyone in their employment has made every attempt to ensure that the particulars and other information provided are as accurate as possible and they are not intended to amount to advice on which you should rely as being factually accurate. Full information which may be relevant to your decision regarding the property can be found on the property listing on carterjonas.co.uk or a separately available material information sheet, and we would advise you to confirm the details of any material information prior to any offer being submitted. You should not assume that the property has all necessary planning, building regulations or other consents and Carter Jonas has not tested any services, facilities, or equipment. Any measurements and distances given are approximate only. Where Carter Jonas has been provided with a floorplan by a third party, we cannot guarantee that the floorplan has been measured in accordance with IPMS. Purchasers or prospective tenants must satisfy themselves of all of the aforementioned by independent inspection or otherwise. Our images only represent part of the property as it appeared at the time they were taken and do not represent the furnishings included; these are confirmed in a separate inventory. If you require further information, please contact us. *Administration fees may apply depending on tenancy type. Please contact your local branch for this information.

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